

Inspection Report

John Smith

Property Address:
1001 Valley Way
Sugar Hill, GA 30518



Inspected By:

Tom Muth
ICC Certified, Licensed and
Insured

**Total Home Inspection
Services, Inc.**
770-317-9881



www.a-this.com



Member of Ga. Association of Home Inspectors

| | | |
|------------------|---------------|---------------------------|
| Date: 11/14/2011 | Time: 1:45 PM | Report ID: example resale |
|------------------|---------------|---------------------------|

| | | |
|---|----------------------|--------------------------|
| Property: 1001 Valley Way, Sugar Hill, GA 30518 | Customer: John Smith | Weather: Cloudy |
| Temperature: Over 60 | Radon Test: No | Rain in last 3 days: Yes |

1. STRUCTURAL COMPONENTS

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

| | | IN | NI | NP | RR | MP | Styles & Materials |
|------|------------------------------|----|----|----|----|----|--|
| 1.0 | FOOTING DRAIN(S) | | | X | | | FOUNDATION: POURED CONCRETE |
| 1.1 | FOUNDATION SETTLEMENT CRACKS | X | | | | | FLOOR STRUCTURE: 2 X 10 SLAB |
| 1.2 | FOUNDATIONS | X | | | X | | WALL STRUCTURE: 2 X 6 WOOD 2X8 WOOD |
| 1.3 | FOUNDATIONS | X | | | | | WALL SHEATHING: O.S.B. FOAM |
| 1.4 | FOUNDATIONS | X | | | | | COLUMNS OR PIERS: SUPPORTING WALLS |
| 1.5 | FLOORS (Structural) | X | | | | | CEILING STRUCTURE: 2X6 2X8 |
| 1.6 | WALLS (Structural) | X | | | | | ROOF STRUCTURE: 2 X 6 RAFTERS |
| 1.7 | WALLS | X | | | | | ROOF-TYPE: GABLE HIP |
| 1.8 | CEILINGS (structural) | X | | | | | |
| 1.9 | BEAMS OR GIRDERS | X | | | | | |
| 1.10 | COLUMNS OR PIERS | X | | | | | |
| 1.11 | ROOF STRUCTURE AND ATTIC | X | | | X | | |
| 1.12 | ROOF STRUCTURE AND ATTIC | X | | | | | |
| | | IN | NI | NP | RR | MP | |

IN=Inspected, NI=Not Inspected, NP=Not Present, RR=Repair or Replace, MP=Major Point of Concern

Comments:

1.1



1.1 Picture 1

Several typical hairline cracks seen in the foundation walls and in the basement slab. Some water seepage but no displacement seen around the cracks, monitor for future cracking with displacement around the cracks or water seepage. If so, consult a mason or structural engineer for further evaluation of displacement around the cracks or consult a water proofing company if water seepage appears around the cracks.

1.2



1.2 Picture 1



1.2 Picture 2

Foundation anchorage are not secured at rear. When braced wall panels are supported directly on continuous foundations, the wall wood sill plate shall be anchored to the foundation in accordance with this section.

1.3



1.3 Picture 1

Visual inspection of what could be a mold and or mildew like substance in the basement area. Most all houses have some mold or mildew but many are treatable. Check the CDC or EPA Web site for possible self treatments. Further evaluation maybe needed by professional in the field.

<http://www.cdc.gov/mold/default.htm>

1.4 Limited view of foundation due to exterior coverings and interior floor coverings.

1.7



1.7 Picture 1

Moisture stains found on rear wall sheathing at rear of house. Recommend keeping exterior area clear of debris and water to avoid damage.

1.11

1.11 Picture 1



1.11 Picture 2

Top ends of the roof rafters hang down below the bottom of the ridge board. Additional 2x2 is needed to the underside of the ridge board.

1.12

1.12 Picture 1



1.12 Picture 2

Water stains on decking and structural members in attic. Recommend monitoring for active leaks and if present have a professional in the field to evaluate and repair as needed.

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. EXTERIOR

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

| | | IN | NI | NP | RR | MP | |
|------|---|----|----|----|----|----|----------------------------------|
| 2.0 | SIDING AND TRIM | X | | | X | | Styles & Materials |
| 2.1 | SIDING AND TRIM | X | | | X | | SIDING MATERIAL: |
| 2.2 | STUCCO | X | | | X | | COMPOSITION |
| 2.3 | E.I.F.S. (SYNTHETIC STUCCO) | X | | | X | | EIFS |
| 2.4 | PAINT CONDITION | X | | | X | | STUCCO |
| 2.5 | DOORS (Exterior) | X | | | X | | SIDING SYTLE: |
| 2.6 | WINDOWS | X | | | X | | LAP |
| 2.7 | WINDOWS | X | | | X | | STUCCO |
| 2.8 | GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance) | X | | | X | | WINDOW TYPES: |
| 2.9 | GARAGE DOOR(S) | X | | | | | STATIONARY/ FIXED |
| 2.10 | DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS | X | | | X | | SWING OUT |
| 2.11 | DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS | X | | | | | THERMAL / INSULATED |
| 2.12 | DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS | X | | | X | | VINYL |
| 2.13 | DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS | X | | | X | | EXTERIOR ENTRY DOORS: |
| 2.14 | VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIOS, WALKWAYS, AND RETAINING WALLS(WITH RESPECT TO THEIR EFFECT ON THE CONDITION OF THE BUILDING). | X | | | X | | INSULATED GLASS |
| 2.15 | VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIOS, WALKWAYS, AND RETAINING WALLS (WITH RESPECT TO THEIR EFFECT ON THE CONDITION OF THE BUILDING). | X | | | | | METAL |
| 2.16 | VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIOS, WALKWAYS, AND RETAINING WALLS(WITH RESPECT TO THEIR EFFECT ON THE CONDITION OF THE BUILDING). | X | | | X | | APPURTENANCE: |
| | | | | | | | DECK WITH STEPS |
| | | | | | | | FRONT STOOP |
| | | | | | | | AUTO OPENER MANUFACTURER: |
| | | | | | | | LIFT-MASTER |
| | | | | | | | GARAGE DOOR MATERIAL: |
| | | | | | | | LIGHT INSERTS |
| | | | | | | | WOOD |
| | | | | | | | GARAGE DOOR TYPE: |
| | | | | | | | ONE AUTOMATIC |
| | | | | | | | DRIVEWAY: |
| | | | | | | | CONCRETE |
| | | | | | | | DECK BOLTED TO HOME: |
| | | | | | | | YES |
| | | | | | | | DECK(S) FLASHED: |
| | | | | | | | NO |

IN NI NP RR MP

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Comments:

2.0



2.0 Picture 1



2.0 Picture 2



2.0 Picture 3



2.0 Picture 4

Seal around all exterior light fixture (and repair those that are loose), water lines, gas line, etc.. to prevent rain water or insects from entering into the wall cavity and behind the synthetic stucco.

2.1



2.1 Picture 1

Mold/mildew like substance found on the wood fiber siding at rear. Recommend treatment or repair.

2.2 Stucco was visibly inspected. No moisture tests were conducted. Expansion joints not seen in the stucco siding along the areas where the floor structure joins the wall except at front of garage. Consult a stucco inspector for further evaluation of this product.

2.3



2.3 Picture 1



2.3 Picture 2

E.I.F.S. siding is in contact with concrete, wood, ground etc... Proper clearance needs to be obtained, if not proper sealant is needed at all junctions with E.I.M.A. approved sealant such as Dow Corning 790 series caulk.

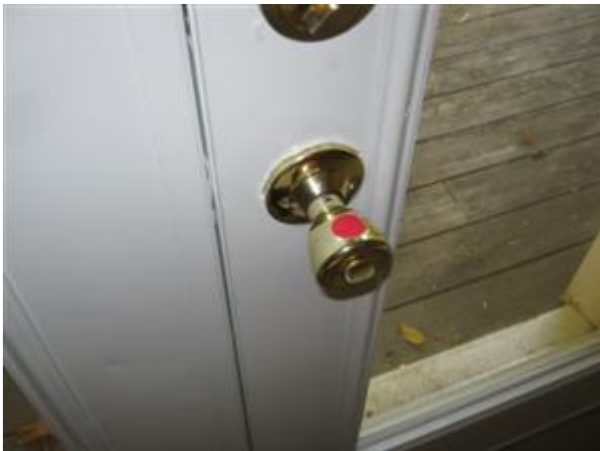
2.4



2.4 Picture 1

Painting and/or sealing is needed on the exterior of the home.

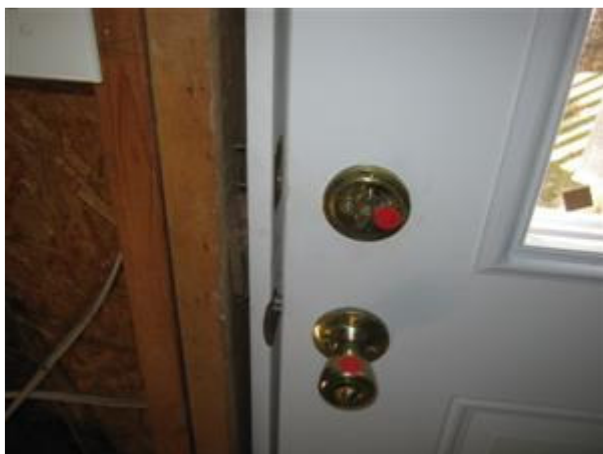
2.5



2.5 Picture 1



2.5 Picture 2



2.5 Picture 3

Both rear doors to the decks have loose or missing hardware. Repairs needed.

2.6

2.6 Picture 1

One of the windows in the basement area will not close, blue tape covering gap on exterior. Repairs needed.

2.7

2.7 Picture 1

Hardware is loose at some of the windows. Repairs needed.

2.8



2.8 Picture 1

Garage door openers in place but not operational, no switch or remote found. Repairs needed.

2.10

2.10 Picture 1



2.10 Picture 2

Rust noted towards the bottom of the metal support posts. Prime and paint is needed. Keep metal posts away from direct ground contact. If the metal posts are rusted through, replacement is needed.

2.11

2.11 Picture 1



2.11 Picture 2

Deck not flashed at connection to wood frame wall. Current building code requires corrosive- resistive flashing to be installed where the deck attaches to a wall assembly of wood frame construction.

2.12



2.12 Picture 1

The deck pickets are spaced over 4", should be 4" or less than in width. Recommend handrail pickets be added.

2.13

2.13 Picture 1

Additional supports have been added under deck to support the hot tub. Could not determine the weight load of hot tub to determine if supports are adequate

2.14

2.14 Picture 1



2.14 Picture 2



2.14 Picture 3

Removal of the vegetation that is in contact with the siding on the home is needed. Limited view to the siding in these areas.

2.15

2.15 Picture 1

Typical cracks seen in the driveway, porch, patio. No displacement seen around the cracks. Monitor for future cracking and fill cracks in the winter to avoid water intrusion and freezing.

2.16

2.16 Picture 1



2.16 Picture 2

Wood retaining wall is bowed out in sections, with rotted wood members in areas as well. Consult a Landscaping Co. for further evaluation and repair.

Wood frames are in place for steps at rear of house. These 2X are not to be left for direct ground contact.

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some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. ROOFING

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

| | | IN | NI | NP | RR | MP | |
|-----|---|----|----|----|----|----|---|
| 3.0 | ROOF COVERINGS | X | | | | | Styles & Materials ROOF COVERING: 3-TAB FIBERGLASS ARCHITECTURAL |
| 3.1 | ROOF FELT | | X | | | | SHINGLE AGE: LESS THAN ONE YEAR NOT VERIFIED |
| 3.2 | ROOFING DRAINAGE SYSTEMS | X | | | | | ROOF FELT SEEN: UNKNOWN |
| 3.3 | FLASHINGS | X | | | | | VIEWED ROOF COVERING FROM: GROUND LADDER |
| 3.4 | SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS | X | | | | | CHIMNEY (exterior): COMPOSITION BOARD WOOD |
| 3.5 | EAVES, SOFFITS AND FASCIA | X | | | X | | GUTTERS: ALUMINUM |
| 3.6 | EAVES, SOFFITS AND FASCIA | X | | | | | |
| 3.7 | ATTIC STAIRS / ACCESS | X | | | | | |
| | | IN | NI | NP | RR | MP | |

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Comments:

3.0



3.0 Picture 1

Extra shingles found on roof peak.

3.1



3.1 Picture 1

Could not determine if roof felt is present, edge of roofline is covered by guttering system.

3.2



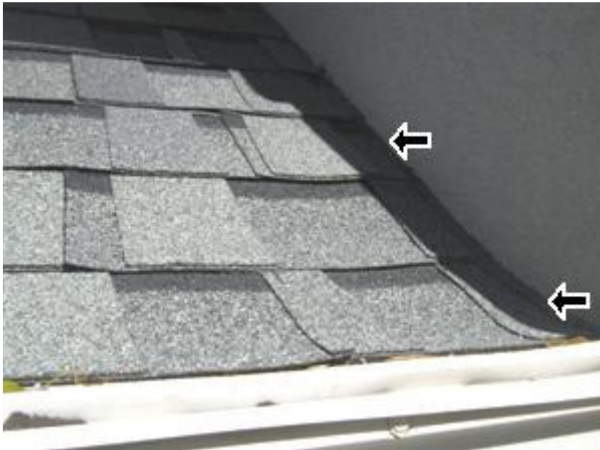
3.2 Picture 1



3.2 Picture 2

Gutter has signs of rust but could not determine if leaking. Recommend monitoring during rain to determine if they need replacing. Downspouts extension is not connected, which does not discharge rainwater at least 5 feet away from the foundation. Repairs needed.

3.3



3.3 Picture 1

Sidewall flashing not seen where shingled roof attaches to walls.

3.5



3.5 Picture 1

Signs of moisture noted in the fascia/soffit boards at rear of house. This could be a sign where the gutters are backing up. Recommend professional in field review for recommended repairs.

3.6



3.6 Picture 1



3.6 Picture 2

Rot noted in the fascia/soffit boards located at the

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. PLUMBING SYSTEM

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

| | | IN | NI | NP | RR | MP |
|------|--|----|----|----|----|----|
| 4.0 | WATER METER | X | | | | |
| 4.1 | MAIN WATER SHUT-OFF DEVICE (Describe location) | X | | | | |
| 4.2 | SERVICE LINE | X | | | | |
| 4.3 | POLYBUTYLENE | X | | | | |
| 4.4 | EXTERIOR WATER SUPPLY | X | | | X | X |
| 4.5 | INTERIOR WATER SUPPLY AND FIXTURES | X | | | X | X |
| 4.6 | INTERIOR WATER SUPPLY AND FIXTURES | X | | | X | |
| 4.7 | INTERIOR WATER SUPPLY AND FIXTURES | X | | | X | |
| 4.8 | WASTE AND DRAIN LINES | X | | | | |
| 4.9 | PLUMBING VENTS | X | | | | |
| 4.10 | WHIRLPOOL | X | | | X | |
| 4.11 | SHOWER PAN | X | | | | |
| 4.12 | PAN AND DRAIN LINE UNDER THE WATER HEATER | | | X | | |
| 4.13 | WATER HEATER(S) | X | | | X | |
| 4.14 | WATER HEATER(S) | X | | | X | |
| 4.15 | WASHING MACHINE DRAIN | X | | | | |
| 4.16 | SHOWER DOOR | X | | | | |

IN NI NP RR MP

Styles & Materials

MAIN WATER CUT OFF:
BASEMENT

PRESSURE REGULATOR:
YES

WATER SOURCE:
PUBLIC

PLUMBING DISTRIBUTION (SERVICE):
PEX

PLUMBING SUPPLY (INTERIOR):
COPPER

PLUMBING WASTE:
PVC

PUBLIC SEWER:
YES

WATER HEATER POWER SOURCE:
GAS (QUICK RECOVERY)

CAPACITY:
50 GAL (2-3 PEOPLE)

MANUFACTURER:
A.O. SMITH

AGE:
4 YEAR

NUMBER OF TANKS:
1

IN NI NP RR MP

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THERMAL EXPANSION DEVICE LOCATED:
TANK

ELECTRICAL BONDING WIRE:
YES

Comments:

4.1



4.1 Picture 1

Main water cut off is in the basement.

4.2



4.2 Picture 1

Water stains found on foundation wall where the service line enters the basement area. This may have been from prior leak. Monitor for leaks.

4.3



4.3 Picture 1



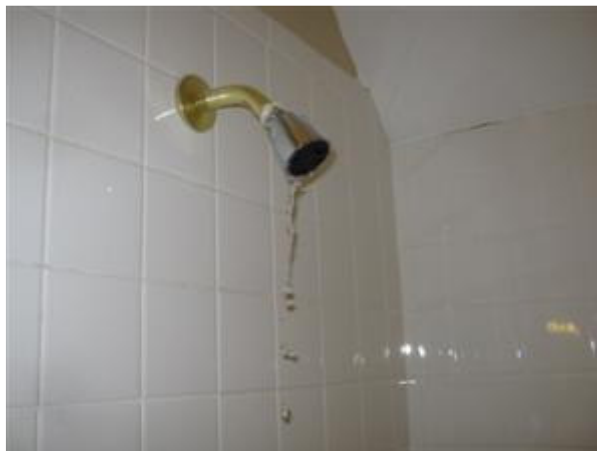
4.3 Picture 2

Polybutylene supply lines are in use, under the sinks etc... Product was part of a class action litigation. Consult manufacturer at www.pbpipe.com for more information.

4.4



4.4 Picture 1



4.4 Picture 2

Low water pressure found on exterior hose bibb, less than 30 lbs. All interior fixture showed very low water flow. Repairs needed.

4.5



4.5 Picture 1

Leaking and dripping sink fixture found at master bathroom. Repairs as needed.

4.6

4.6 Picture 1



4.6 Picture 2

Toilet at first floor bathroom would not operate properly, handle pull was missing. Repairs needed. Running toilet found in the upstairs J&J bathroom. Consult a plumber for further evaluation.

4.7

4.7 Picture 1

Shower heads leak at J&J bathroom.

4.8



4.8 Picture 1

Drain stopper is missing in the bathtub.

4.10

4.10 Picture 1

Electrical bonding wire not seen connected to the set screw on the whirlpool pump.



4.10 Picture 2

Water leak found at motor of jetted tub. Repairs needed.

4.11 Repairs noted in master bathroom shower floor. Did not detect a leak.

4.13

4.13 Picture 1

Thermal expansion tank needs strapping (securing) separate from its own supply line.

4.14



4.14 Picture 1



4.14 Picture 2

Water heater had water leak at the T/PR valve. Unit was off when entering house. Turn unit on and tested fixtures. Water heater was turned off before leaving house.

4.15



4.15 Picture 1

Missing a drain pan under the washing machine.

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. ELECTRICAL SYSTEMS

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

| | | IN | NI | NP | RR | MP |
|------|--|----|----|----|----|----|
| 5.0 | ELECTRICAL PANEL BOX REMOVED | X | | | | |
| 5.1 | SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS | X | | | | |
| 5.2 | BREAKERS, FUSES, OR OTHER OVERRCURRENT PROTECTION AND INTERIOR WIRING ISSUES | X | | | X | |
| 5.3 | EXTERIOR FIXTURES | X | | | X | |
| 5.4 | INTERIOR OUTLETS, CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls) | X | | | X | |
| 5.5 | INTERIOR OUTLETS, CONNECTED DEVICES AND FIXTURES | X | | | | |
| 5.6 | OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS) | X | | | X | |
| 5.7 | SMOKE DETECTORS | X | | | | |
| 5.8 | DRYER | | | X | | |
| 5.9 | OPERATION OF ARC FAULT CIRCUIT INTERRUPTER | | | X | | |
| 5.10 | DOOR BELL | X | | | | |

IN NI NP RR MP

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Styles & Materials

ELECTRICAL SERVICE CONDUCTORS:
BELOW GROUND

PANEL CAPACITY AND SERVICE SIZE:
200 AMP

PANEL TYPE:
CIRCUIT BREAKERS

ELEC. PANEL MANUFACTURER:
SQUARE D

SUB PANEL LOCATION:
BASEMENT

BRANCH WIRE 15 and 20 AMP:
COPPER

220 VOLT CIRCUIT:
ALUMINUM
COPPER

WIRING METHODS:
ROMEX

MAIN DISCONNECT:
PANEL BOX

MAIN PANEL COVER REMOVED:
YES

ARC FAULT BREAKERS FOR BEDROOM CIRCUITS:
NO

G.F.I. CIRCUITS LOCATED:
BATHROOMS
GARAGE
KITCHEN
OUTSIDE

GROUND WIRE CONNECTED TO:
PLUMBING
1 GROUND ROD

LABELED PANEL BOX:
PARTIALLY

Comments:

5.0



5.0 Picture 1

Picture of the main panel box removed

5.2



5.2 Picture 1



5.2 Picture 2



5.2 Picture 3



5.2 Picture 4

Missing a wire clamp on the new white wire located at the top of the panel box. Clamps are needed. The same wire is connected to a different breaker 50 amps(Siemens) than the panel (Sq. D). The same wire is not properly secured through the basement unfinished area.

5.3



5.3 Picture 1

Cover is missing on exterior panel at right side of house, safety concern. Cover should be installed.

Repair loose exterior light fixture at rear of house.

5.4



5.4 Picture 1



5.4 Picture 2



5.4 Picture 3

Loose outlets marked with sticker seen in the kitchen. Securing of the outlet(s) is needed.

Cover plate damaged or missing on receptacles and switch plate through the house, safety concern. Replacement needed.

5.5



5.5 Picture 1



5.5 Picture 2

Many of the light fixture were not functional at the time of the inspection. Recommend changing bulbs and retesting.

Loose light fixture found in basement area, repairs needed.

Exposed wiring found in master bathroom. Sealing is needed.

5.6



5.6 Picture 1

The marked G.F.I. outlet is not tripping off when tested. Consult a Certified Electrician for repair.

5.7



5.7 Picture 1

Smoke detector were beeping at the time of the inspection. Recommend installing new batteries.

All smoke detectors should be tested upon moving in to home. Smoke detector missing in basement area. Replacement needed.

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. HEATING

The home inspector shall observe permanently installed heating systems including: Heating equipment; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

| | | IN | NI | NP | RR | MP |
|-----|--|----|----|----|----|----|
| 6.0 | HEATING EQUIPMENT | X | | | X | |
| 6.1 | HEAT DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors) | X | | | X | |
| 6.2 | AUTOMATIC SAFETY CONTROLS | X | | | | |
| 6.3 | FLUES AND VENTS | X | | | X | |
| 6.4 | THERMOSTAT | X | | | | |
| 6.5 | AIR DUCT AIRFLOW TEMPS | X | | | | |

IN NI NP RR MP

IN=Inspected, NI=Not Inspected, NP=Not Present, RR=Repair or Replace, MP=Major Point of Concern

Styles & Materials

HEAT TYPE:
FORCED AIR

ENERGY SOURCE:
GAS

**NUMBER OF HEAT SYSTEMS
(excluding wood):**
THREE

HEAT SYSTEM BRAND:
RHEEM

DUCTWORK:
INSULATED
FLEX
RIGID METAL

FILTER TYPE:
WASHABLE

FILTER SIZE:
14x25
16x25

CONDITION OF THE FILTER:
DIRTY

FURNACE SIZE:
50000 BTU
75000 BTU

FURNACE AGE:
1992
1993

CHECKED FOR CARBON MONOXIDE:
YES

Comments:

6.0 The basement and first floor furnaces were not functional and all the HVAC systems are 5+ years old. Recommend servicing to determine repairs needed and mechanical integrity of all three systems.

6.1



6.1 Picture 1

The Filter is dirty and needs cleaned or replaced in attic and basement.

6.3



6.3 Picture 1



6.3 Picture 2



6.3 Picture 3

The furnace flue pipe is in contact with the duct work by the attic unit. A flame shield is needed to be installed between the 2 different materials.

Vent covers are missing in a few locations. Replacements needed.

The heating system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. CENTRAL AIR CONDITIONING

The home inspector shall observe: Central air conditioning and permanently installed cooling systems including: Cooling and air handling equipment; and Normal operating controls. Distribution systems including: Fans, pumps, ducts and piping, with associated supports, dampers, insulation, air filters, registers, fan-coil units; and The presence of an installed cooling source in each room. The home inspector shall describe: Energy sources; and Cooling equipment type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Observe window air conditioners or operate cooling systems when weather conditions or other circumstances may cause equipment damage; Observe non-central air conditioners; or Observe the uniformity or adequacy of cool-air supply to the various rooms.

| | | IN | NI | NP | RR | MP |
|-----|---|----|----|----|----|----|
| 7.0 | COOLING AND AIR HANDLER EQUIPMENT | X | | | | |
| 7.1 | THERMOSTAT | X | | | | |
| 7.2 | DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors) | X | | | | |
| 7.3 | AIRDUCT AIR FLOW TEMPS | X | | | X | |

IN NI NP RR MP

IN=Inspected, NI=Not Inspected, NP=Not Present, RR=Repair or Replace, MP=Major Point of Concern

Styles & Materials

CENTRAL AIR MANUFACTURER:
PAYNE
RHEEM

COOLING EQUIPMENT TYPE:
AIR CONDITIONER UNIT

COOLING EQUIPMENT ENERGY SOURCE:
ELECTRICITY

NUMBER OF A/C UNITS:
THREE

A/C FLOOR AND SIZE:
FIRST FLOOR 2.5 TONS
SECOND FLOOR 3 TONS
THIRD FLOOR OR BASEMENT 1.5 TONS

FIRST FLOOR UNIT AGE:
1992

FIRST FLOOR BREAKER SIZE:
30 AMP

FIRST FLOOR DIFFERENTIAL:
LESS THAN 15 DEGREES

SECOND FLOOR UNIT AGE:
2004

SECOND FLOOR BREAKER SIZE:
20 AMP

SECOND FLOOR DIFFERENTIAL:
15 DEGREES OR LESS

THIRD FLOOR OR BASEMENT UNIT AGE:
1993

THIRD FLOOR OR BASEMENT BREAKER SIZE:
20 AMPS

THIRD FLOOR OR BASEMENT DIFFERENTIAL:
LESS THAN 15 DEGREES

Comments:

7.3 Only receiving an average of 9 degree differential out of the supply vents. Should receive between 15 to 18 degrees. Servicing of the HVAC system is needed.

The cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed HVAC contractor would discover (Heating, Ventilation, and Air Conditioning). Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. INTERIORS

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

| | | IN | NI | NP | RR | MP | |
|------|--|----|----|----|----|----|--------------------------------|
| 8.0 | PEST INFESTATION | X | | | | | Styles & Materials |
| 8.1 | CEILING | X | | | X | | CEILING MATERIALS: |
| 8.2 | CEILING | X | | | | | SHEETROCK |
| 8.3 | WALLS | X | | | X | | SUSPENDED CEILING PANELS |
| 8.4 | WALLS | X | | | | | UNFINISHED |
| 8.5 | WALLS | X | | | | | WALL MATERIAL: |
| 8.6 | FLOORS | X | | | X | | SHEETROCK |
| 8.7 | FLOORS | X | | | X | | UNFINISHED |
| 8.8 | FLOORS | X | | | X | | FLOOR COVERING(S): |
| 8.9 | STEPS, STAIRWAYS, BALCONIES AND RAILINGS | X | | | | | CARPET |
| 8.10 | COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS | X | | | X | | HARDWOOD T&G |
| 8.11 | DOORS (REPRESENTATIVE NUMBER) | X | | | X | | TILE |
| 8.12 | DOORS | X | | | X | | UNFINISHED |
| 8.13 | DOORS | X | | | X | | VINYL |
| 8.14 | WINDOWS (REPRESENTATIVE NUMBER & EGRESS) | X | | | X | X | INTERIOR DOORS: |
| 8.15 | WINDOWS | X | | | X | | LOUVERED |
| 8.16 | WINDOWS | X | | | | | MASONITE |
| 8.17 | TEMPERED WINDOW GLASS | X | | | X | | RAISED PANEL |
| 8.18 | FIREPLACES AND CHIMNEYS | X | | | | | SINGLE PANE |
| | | | | | | | WOOD |
| | | | | | | | CABINETRY: |
| | | | | | | | LAMINATE |
| | | | | | | | COUNTERTOP: |
| | | | | | | | CULTURED MARBLE |
| | | | | | | | LAMINATE |
| | | | | | | | FIREPLACES (TYPES): |
| | | | | | | | GAS / LP LOG STARTER |
| | | | | | | | PREFABRICATED |
| | | | | | | | GAS STARTER FUNCTIONS: |
| | | | | | | | YES |
| | | | | | | | OPERATIONAL FIREPLACES: |
| | | | | | | | 1 |

IN NI NP RR MP

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Comments:

8.0



8.0 Picture 1

Dead animal found in the attic as well as signs of prior problem.



8.0 Picture 2

8.1



8.1 Picture 1

Water leak repaired in the dinning room ceiling but hole in ceiling with water stains visible. Repairs needed.

8.3



8.3 Picture 1



8.3 Picture 2



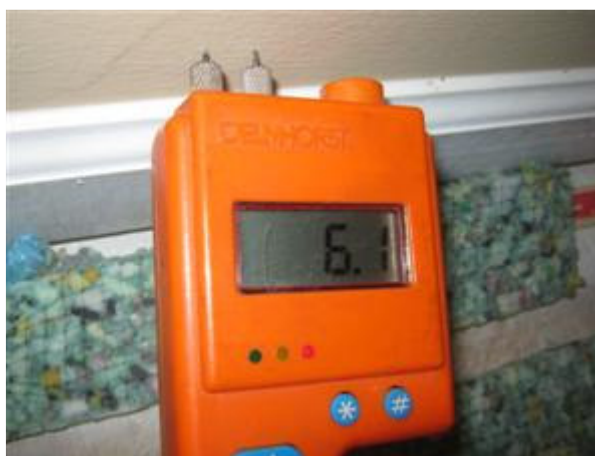
8.3 Picture 3



8.3 Picture 4



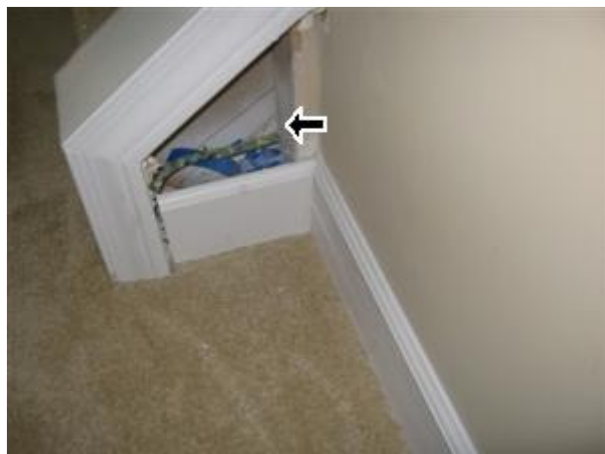
8.3 Picture 5



8.3 Picture 6

Water stained walls seen in the dinning room and master bedroom as well as the walls below the dinning room in the basement area. Area(s) tested for moisture with a Delmhorst Moisture Meter. Area(s) rate of moisture detected was 2.3 -6.1%. Repairs or replacement needed.

8.4 Most walls and ceilings in finished basement are covered and structural members are not visible. No obvious problems discovered. We could not see behind these coverings.

8.5

8.5 Picture 1

Wall covering missing in basement area.

8.6

8.6 Picture 1

Water damage on wood floor covering in dinning. Repairs needed.

8.7 Water found in carpet of upstairs bedroom and basement area. These are directly related to the water leak from second floor bathroom. Repairs needed.

8.8

8.8 Picture 1

Floor cover is pulling away from wall in kitchen. Replacement needed.



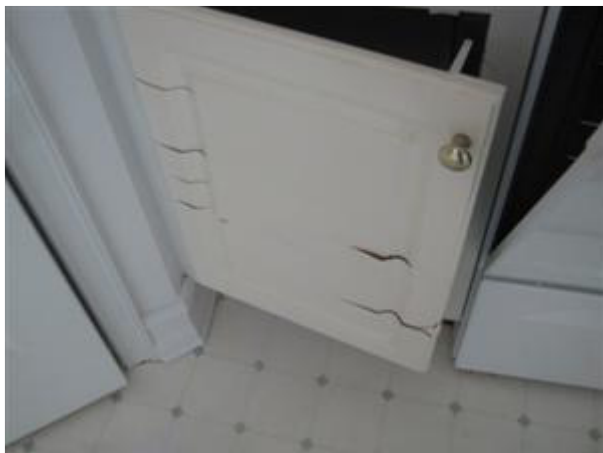
8.8 Picture 2

Floor covering is damage/missing in laundry room. Repair as needed.

8.9

8.9 Picture 1

The handrail on steps to basement are not turned back to the wall, safety concern. Recommend repairs.

8.10

8.10 Picture 1

Cabinet drawer facing are damaged or missing in 2nd floor bathroom.



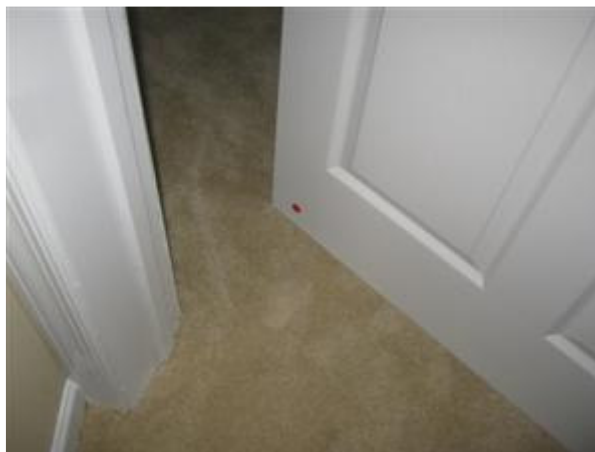
8.10 Picture 2

Kitchen doors have cracked or damaged coverings. Repair or replacement needed.

8.11



8.11 Picture 1



8.11 Picture 2

The marked interior door are sticking at bottom on carpet, adjustment is needed.

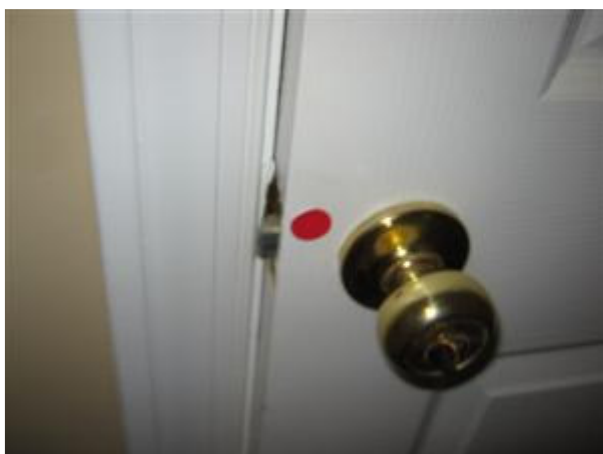
8.12



8.12 Picture 1



8.12 Picture 2



8.12 Picture 3



8.12 Picture 4

Door stops are missing at several locations throughout the house. If not replaced, wall damage can occur.

Marked door not latching shut, adjustment is needed.

Bi-fold door hardware is missing. Replacement needed.

8.13

8.13 Picture 1



8.13 Picture 2

Marked door handles are loose . Damage on master bedroom door where lock has been removed. Repairs needed.

8.14

8.14 Picture 1



8.14 Picture 2

Window is under sized for bedroom emergency exit. The maximum height of 44" and the opening must be at least 3 sq ft. for all habitable and sleeping rooms .

8.15 Many of the windows will not open and some have loose hardware, repairs needed.

8.16 Note: Screens missing on some of the windows.

8.17

8.17 Picture 1

The window next to the door to the deck is not equipped with temper glass. Tempered glass is now required within 24" of the arc of a door in a closed position.

8.18



8.18 Picture 1

The fireplace damper has signs of rust. Recommend review by roofer to determine if there is opening in chimney or this is from prior leak that has been repaired.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. INSULATION AND VENTILATION

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

| | | IN | NI | NP | RR | MP |
|-----|---|----|----|----|----|----|
| 9.0 | INSULATION AND VAPOR RETARDERS (in unfinished spaces) | X | | | X | |
| 9.1 | VENTILATION OF ATTIC AND FOUNDATION AREAS | X | | | | |
| 9.2 | VENTING SYSTEMS (Kitchens, baths and laundry) | X | | | X | |
| 9.3 | VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC) | X | | | X | |

IN NI NP RR MP

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Styles & Materials

ATTIC INSULATION:

BLOWN
BATT
FIBERGLASS

R- VALUE:

R-19 OR BETTER

VENTILATION:

ATTIC POWER VENTILATOR FAN
GABLE VENTS
SOFFIT VENTS
WHOLE HOUSE FAN

DRYER POWER SOURCE:

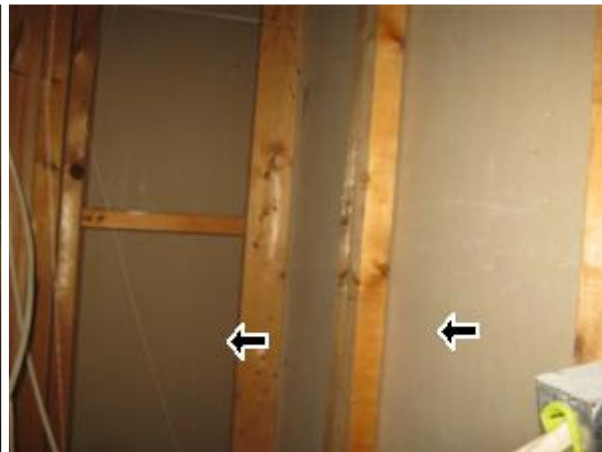
220 ELECTRIC
GAS CONNECTION
BOTH (YOUR CHOICE)

Comments:

9.0



9.0 Picture 1



9.0 Picture 2

Insulation is missing in some areas of basement and attic, reinstall insulation where needed.

9.2 Mechanical vent of bathroom is terminated into the attic area. Recommend terminating to the exterior.

9.3 To cold outside to test the operation of the power ventilator fan in the attic. Have the seller verify that the unit is operational.

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. BUILT-IN KITCHEN APPLIANCES

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

| | | IN | NI | NP | RR | MP | Styles & Materials |
|------|---|----|----|----|----|----|---|
| 10.0 | DISHWASHER | X | | | | | DISHWASHER: WHIRLPOOL |
| 10.1 | RANGES/OVENS/COOKTOPS | X | | | | | DISPOSER: BADGER |
| 10.2 | RANGE HOOD | X | | | | | EXHAUST/RANGE HOOD: WHIRLPOOL |
| 10.3 | FOOD WASTE DISPOSER | X | | | | | RANGE/OVEN: WHIRLPOOL |
| 10.4 | MICROWAVE COOKING EQUIPMENT | X | | | | | BUILT-IN MICROWAVE: WHIRLPOOL |
| 10.5 | MICROWAVE 18" ABOVE THE COOKTOP BURNERS | X | | | | | |
| 10.6 | REFRIGERATOR | | | X | | | |
| | | IN | NI | NP | RR | MP | |

IN=Inspected, NI=Not Inspected, NP=Not Present, RR=Repair or Replace, MP=Major Point of Concern

Comments:

10.0



10.0 Picture 1

Unit appears to be new.

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

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General Summary

PROFESSIONAL HOME INSPECTIONS

T_THIS, Inc. 770-317-9881

Certified, Licensed and Insured



A-THIS, Inc.

770-317-9881

Customer
John Smith

Property Address
1001 Valley Way
Sugar Hill, GA 30518

The following items or discoveries indicate that these systems or components do not function as intended or adversely affects the habitability of the dwelling; or appear to warrant further investigation by a specialist, or requires subsequent observation. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function, efficiency, or safety of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. STRUCTURAL COMPONENTS

1.2 FOUNDATIONS

Inspected, Repair or Replace

Foundation anchorage are not secured at rear. When braced wall panels are supported directly on continuous foundations, the wall wood sill plate shall be anchored to the foundation in accordance with this section.

1.11 ROOF STRUCTURE AND ATTIC

Inspected, Repair or Replace

Top ends of the roof rafters hang down below the bottom of the ridge board. Additional 2x2 is needed to the underside of the ridge board.

2. EXTERIOR

2.0 SIDING AND TRIM

Inspected, Repair or Replace

Seal around all exterior light fixture (and repair those that are loose), water lines, gas line, etc.. to prevent rain water or insects from entering into the wall cavity and behind the synthetic stucco.

2.1 SIDING AND TRIM

Inspected, Repair or Replace

Mold/mildew like substance found on the wood fiber siding at rear. Recommend treatment or repair.

2.2 STUCCO

Inspected, Repair or Replace

Stucco was visibly inspected. No moisture tests were conducted. Expansion joints not seen in the stucco siding along the areas where the floor structure joins the wall except at front of garage. Consult a stucco inspector for further evaluation of this product.

2.3 E.I.F.S. (SYNTHETIC STUCCO)**Inspected, Repair or Replace**

E.I.F.S. siding is in contact with concrete, wood, ground etc... Proper clearance needs to be obtained, if not proper sealant is needed at all junctions with E.I.M.A. approved sealant such as Dow Corning 790 series caulk.

2.4 PAINT CONDITION**Inspected, Repair or Replace**

Painting and/or sealing is needed on the exterior of the home.

2.5 DOORS (Exterior)**Inspected, Repair or Replace**

Both rear doors to the decks have loose or missing hardware. Repairs needed.

2.6 WINDOWS**Inspected, Repair or Replace**

One of the windows in the basement area will not close, blue tape covering gap on exterior. Repairs needed.

2.7 WINDOWS**Inspected, Repair or Replace**

Hardware is loose at some of the windows. Repairs needed.

2.8 GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)**Inspected, Repair or Replace**

Garage door openers in place but not operational, no switch or remote found. Repairs needed.

2.10 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS**Inspected, Repair or Replace**

Rust noted towards the bottom of the metal support posts. Prime and paint is needed. Keep metal posts away from direct ground contact. If the metal posts are rusted through, replacement is needed.

2.11 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS**Inspected**

Deck not flashed at connection to wood frame wall. Current building code requires corrosive- resistive flashing to be installed where the deck attaches to a wall assembly of wood frame construction.

2.12 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS**Inspected, Repair or Replace**

The deck pickets are spaced over 4", should be 4" or less than in width. Recommend handrail pickets be added.

2.13 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS**Inspected, Repair or Replace**

Additional supports have been added under deck to support the hot tub. Could not determine the weight load of hot tub to determine if supports are adequate

2.14 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIOS, WALKWAYS, AND RETAINING WALLS(WITH RESPECT TO THEIR EFFECT ON THE CONDITION OF THE BUILDING).**Inspected, Repair or Replace**

Removal of the vegetation that is in contact with the siding on the home is needed. Limited view to the siding in these areas.

2.16 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIOS, WALKWAYS, AND RETAINING WALLS(WITH RESPECT TO THEIR EFFECT ON THE CONDITION OF THE BUILDING).**Inspected, Repair or Replace**

Wood retaining wall is bowed out in sections, with rotted wood members in areas as well. Consult a Landscaping Co.

for further evaluation and repair.

Wood frames are in place for steps at rear of house. These 2X are not to be left for direct ground contact.

3. ROOFING

3.5 EAVES, SOFFITS AND FASCIA

Inspected, Repair or Replace

Signs of moisture noted in the fascia/soffit boards at rear of house. This could be a sign where the gutters are backing up. Recommend professional in field review for recommended repairs.

4. PLUMBING SYSTEM

4.4 EXTERIOR WATER SUPPLY

Inspected, Repair or Replace, Major Point of Concern

Low water pressure found on exterior hose bibb, less than 30 lbs. All interior fixture showed very low water flow. Repairs needed.

4.5 INTERIOR WATER SUPPLY AND FIXTURES

Inspected, Repair or Replace, Major Point of Concern

Leaking and dripping sink fixture found at master bathroom. Repairs as needed.

4.6 INTERIOR WATER SUPPLY AND FIXTURES

Inspected, Repair or Replace

Toilet at first floor bathroom would not operate properly, handle pull was missing. Repairs needed. Running toilet found in the upstairs J&J bathroom. Consult a plumber for further evaluation.

4.7 INTERIOR WATER SUPPLY AND FIXTURES

Inspected, Repair or Replace

Shower heads leak at J&J bathroom.

4.10 WHIRLPOOL

Inspected, Repair or Replace

Electrical bonding wire not seen connected to the set screw on the whirlpool pump.

Water leak found at motor of jetted tub. Repairs needed.

4.13 WATER HEATER(S)

Inspected, Repair or Replace

Thermal expansion tank needs strapping (securing) separate from its own supply line.

4.14 WATER HEATER(S)

Inspected, Repair or Replace

Water heater had water leak at the T/PR valve. Unit was off when entering house. Turn unit on and tested fixtures. Water heater was turned off before leaving house.

5. ELECTRICAL SYSTEMS

5.2 BREAKERS, FUSES, OR OTHER OVERRCURRENT PROTECTION AND INTERIOR WIRING ISSUES

Inspected, Repair or Replace

Missing a wire clamp on the new white wire located at the top of the panel box. Clamps are needed. The same wire is connected to a different breaker 50 amps(Siemens) than the panel (Sq. D). The same wire is not properly secured through the basement unfinished area.

5.3 EXTERIOR FIXTURES

Inspected, Repair or Replace

Cover is missing on exterior panel at right side of house, safety concern. Cover should be installed.

Repair loose exterior light fixture at rear of house.

5.4 INTERIOR OUTLETS, CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)

Inspected, Repair or Replace

Loose outlets marked with sticker seen in the kitchen. Securing of the outlet(s) is needed.

Cover plate damaged or missing on receptacles and switch plate through the house, safety concern. Replacement needed.

5.6 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Inspected, Repair or Replace

The marked G.F.I. outlet is not tripping off when tested. Consult a Certified Electrician for repair.

6. HEATING

6.0 HEATING EQUIPMENT

Inspected, Repair or Replace

The basement and first floor furnaces were not functional and all the HVAC systems are 5+ years old. Recommend servicing to determine repairs needed and mechanical integrity of all three systems.

6.1 HEAT DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Inspected, Repair or Replace

The Filter is dirty and needs cleaned or replaced in attic and basement.

6.3 FLUES AND VENTS

Inspected, Repair or Replace

The furnace flue pipe is in contact with the duct work by the attic unit. A flame shield is needed to be installed between the 2 different materials.

Vent covers are missing in a few locations. Replacements needed.

7. CENTRAL AIR CONDITIONING

7.3 AIRDUCT AIR FLOW TEMPS

Inspected, Repair or Replace

Only receiving an average of 9 degree differential out of the supply vents. Should receive between 15 to 18 degrees. Servicing of the HVAC system is needed.

8. INTERIORS

8.1 CEILING

Inspected, Repair or Replace

Water leak repaired in the dinning room ceiling but hole in ceiling with water stains visible. Repairs needed.

8.3 WALLS

Inspected, Repair or Replace

Water stained walls seen in the dinning room and master bedroom as well as the walls below the dinning room in the basement area. Area(s) tested for moisture with a Delmhorst Moisture Meter. Area(s) rate of moisture detected was 2.3 -6.1%. Repairs or replacement needed.

8.6 FLOORS

Inspected, Repair or Replace

Water damage on wood floor covering in dinning. Repairs needed.

8.7 FLOORS

Inspected, Repair or Replace

Water found in carpet of upstairs bedroom and basement area. These are directly related to the water leak from second floor bathroom. Repairs needed.

8.8 FLOORS**Inspected, Repair or Replace**

Floor cover is pulling away from wall in kitchen. Replacement needed.

Floor covering is damage/missing in laundry room. Repair as needed.

8.10 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS**Inspected, Repair or Replace**

Cabinet drawer facing are damaged or missing in 2nd floor bathroom. Kitchen doors have cracked or damaged coverings. Repair or replacement needed.

8.11 DOORS (REPRESENTATIVE NUMBER)**Inspected, Repair or Replace**

The marked interior door are sticking at bottom on carpet, adjustment is needed.

8.12 DOORS**Inspected, Repair or Replace**

Door stops are missing at several locations throughout the house. If not replaced, wall damage can occur.

Marked door not latching shut, adjustment is needed.

Bi-fold door hardware is missing. Replacement needed.

8.13 DOORS**Inspected, Repair or Replace**

Marked door handles are loose . Damage on master bedroom door where lock has been removed. Repairs needed.

8.14 WINDOWS (REPRESENTATIVE NUMBER & EGRESS)**Inspected, Repair or Replace, Major Point of Concern**

Window is under sized for bedroom emergency exit. The maximum height of 44" and the opening must be at least 3 sq ft. for all habitable and sleeping rooms.

8.15 WINDOWS**Inspected, Repair or Replace**

Many of the windows will not open and some have loose hardware, repairs needed.

8.17 TEMPERED WINDOW GLASS**Inspected, Repair or Replace**

The window next to the door to the deck is not equipped with temper glass. Tempered glass is now required within 24" of the arc of a door in a closed position.

9. INSULATION AND VENTILATION**9.0 INSULATION AND VAPOR RETARDERS (in unfinished spaces)****Inspected, Repair or Replace**

Insulation is missing in some areas of basement and attic, reinstall insulation where needed.

9.2 VENTING SYSTEMS (Kitchens, baths and laundry)**Inspected, Repair or Replace**

Mechanical vent of bathroom is terminated into the attic area. Recommend terminating to the exterior.

9.3 VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC)**Inspected, Repair or Replace**

To cold outside to test the operation of the power ventilator fan in the attic. Have the seller verify that the unit is operational.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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PROFESSIONAL HOME INSPECTIONS

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Certified, Licensed and Insured



INVOICE

A-THIS, Inc.
770-317-9881
Inspected By: Tom Muth

Inspection Date: 11/14/2011
Report ID: example resale

| Customer Info: | Inspection Property: |
|---|---|
| John Smith 1234 East State Drive Dale City VA 20222 Customer's Real Estate Professional: Susan Kliesen Re/Max | 1001 Valley Way Sugar Hill, GA 30518 |

Inspection Fee:

| Service | Price | Amount | Sub-Total |
|------------------------------|--------|--------|-----------------------------|
| Heated Sq Feet 3,001 - 3,500 | 350.00 | 1 | 350.00 |
| | | | Tax \$0.00 |
| | | | Total Price \$350.00 |

Payment Method: Check
Payment Status: Paid At Time Of Inspection
Note: Check #1234